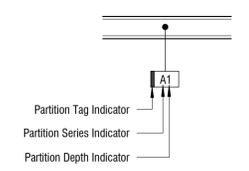


TYPE	STUD DEPTH	WALL THCK	FIRE RATING	STC RATING
A1	3-1/2"	4-3/4"	N/A	N/A
A2	5-1/2"	6-3/4"	N/A	N/A
A3	7-1/2"	8-3/4"	N/A	N/A

Stud Walls are Type A-2 Unless Noted Otherwise on Dimension Plans

PARTITION TYPE GENERAL NOTES

- A. All gypsum board walls and ceilings shall be finished to LEVEL 4 finish per ASTM C840 unless otherwise noted.
- B. Provide continuous bead of sealant at all wall-to-floor, wall-to-ceiling, and wall-to-wall conditions.
- C. Stagger all sheathing joints per manufacturer's recommendations.



BLOCKING GENERAL NOTES

- A. Provide blocking for all required elements, including, but not limited to: shelving, equipment, lighting, millwork, counters, and toilet accessories.
- B. All blocking installed in stud cavities shall be tight to backside of sheathing.
- C. In Type I or II Construction, all wood blocking shall be fire-treated as required per code.

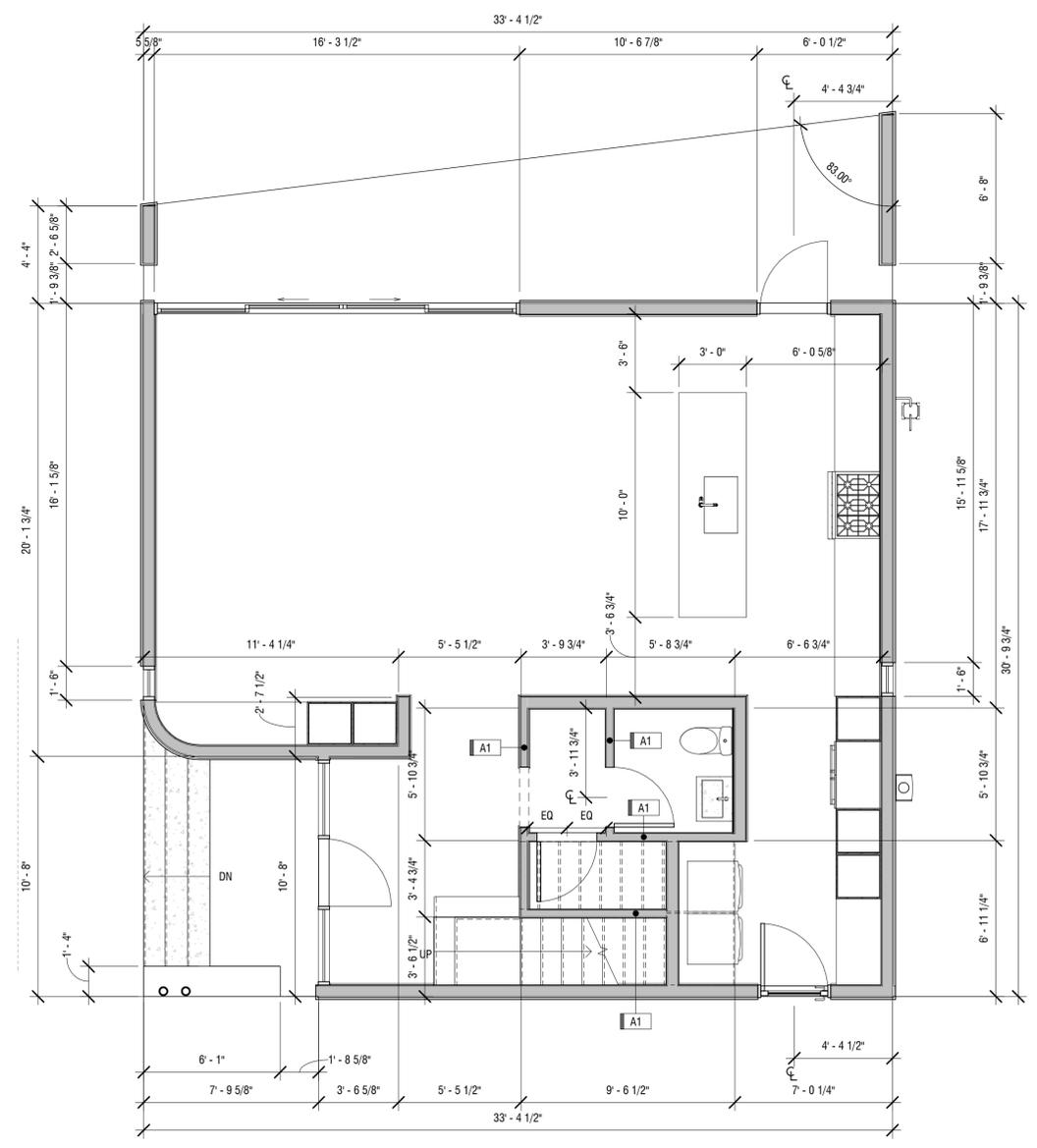
SHEATHING SCHEDULE

- + **NON-WET WALL LOCATIONS**
5/8" Gypsum Board
- + **TILE WALLS**
5/8" Hardi-Board or Durock behind all areas to be clad in tile
- + **WET WALLS AND RESTROOM WALLS**
5/8" Hardi-Board or Durock behind all areas to be clad in tile
5/8" Moisture-resistant Gypsum Board, including ceiling
Sound batt insulation in all restroom walls

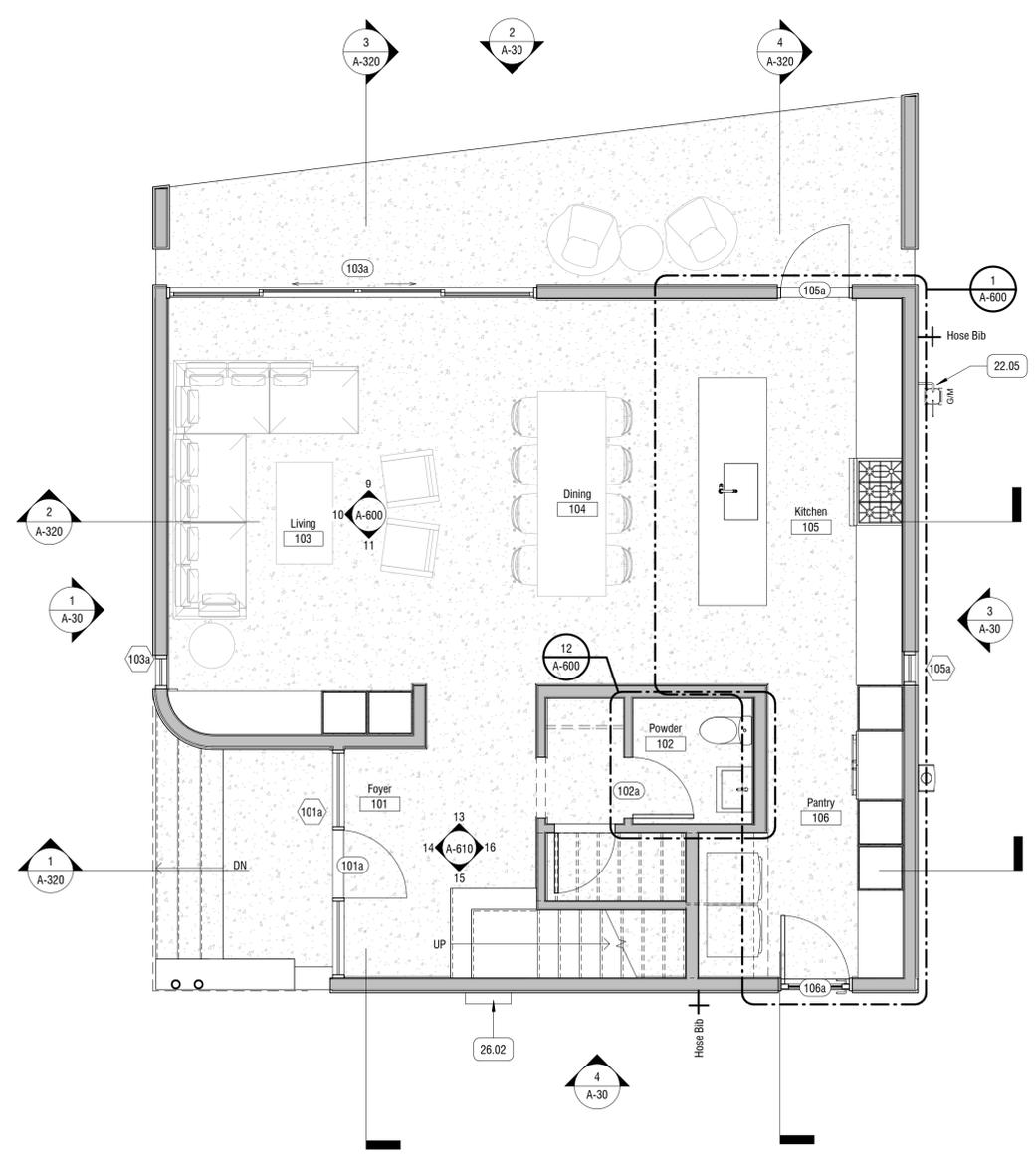
- + **KITCHEN WALLS**
5/8" Hardi-Board installed up to 48" AFF
5/8" Moisture-resistant Gypsum Board above 48" AFF
5/8" Moisture-resistant Gypsum Board at ceilings
Install blocking as required for wall sheathing
- + **PDR WALLS**
5/8" Gypsum Board
Sound batt insulation at walls adjacent to kitchen and prep areas
- + **PLASTER FINISHED WALLS**
5/8" DensGlass Gold under plaster skim coat as scheduled
- + **WOOD FINISHED WALLS**
1/2" minimum Plywood Sheathing - fire-treated as required
- + **WALL PAPER FINISHED WALLS**
5/8" Gypsum Board with smooth finish suitable for wall paper application

FLOOR PLAN KEYNOTES

- 22.05 Proposed New Gas Meter Location.
 - 26.02 New Overhead Electrical Meter Location.
1. The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
 2. GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify Ravel immediately.
 3. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
 4. Do not scale the drawings. If a specific dimension is not given, contact Ravel for clarification.
 5. GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
- Visible Notes:
- R320.3 Visible Bathroom:**
1. Minimum clear opening of 30".
 2. Lateral 2x6 or larger nominal wood blocking installed flush with stud edges of bathroom walls.
 3. Centerline of the blocking must be 34" from and parallel to the interior floor level.
- R320.4 Visible Light Switches, Receptacles, and Environmental Controls:**
1. Light Switches and environmental controls no higher than 48" above the interior floor level.
 2. Wall outlets and receptacles minimum 15" above interior floor level.
- SM/CM - Smoke/Carbon Monoxide Detector



2 First Floor Dimension Plan
1/4" = 1'-0"



1 First Floor Plan
1/4" = 1'-0"

General Notes / Legends

- 22.05 Proposed New Gas Meter Location.
 - 26.02 New Overhead Electrical Meter Location.
1. The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
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Consultant

Architect
RAVEL
ARCHITECTURE

2012 E Cesar Chavez Street
Austin, TX 78702

Seal and Signature



Issue
Construction Set

Date
October 21st, 2021

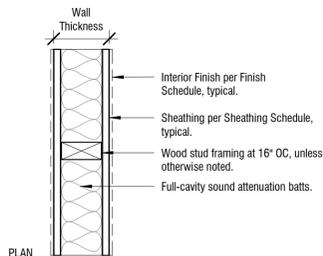
Project
1309 Clifford Ave.
Parkside Homes
1309 Clifford Ave.
Austin, TX 78702

Title
First Floor Plans

Sheet

A-110

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
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- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Do not scale the drawings. If a specific dimension is not given, contact Ravel for clarification.
- GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.



PLAN

TYPE	STUD DEPTH	WALL THCK	FIRE RATING	STC RATING
A1	3-1/2"	4-3/4"	N/A	N/A
A2	5-1/2"	6-3/4"	N/A	N/A
A3	7-1/2"	8-3/4"	N/A	N/A

Stud Walls are Type A-2 Unless Noted Otherwise on Dimension Plans

PARTITION TYPE GENERAL NOTES

- All gypsum board walls and ceilings shall be finished to LEVEL 4 finish per ASTM C840 unless otherwise noted.
- Provide continuous bead of sealant at all wall-to-floor, wall-to-ceiling, and wall-to-wall conditions.
- Stagger all sheathing joints per manufacturer's recommendations.

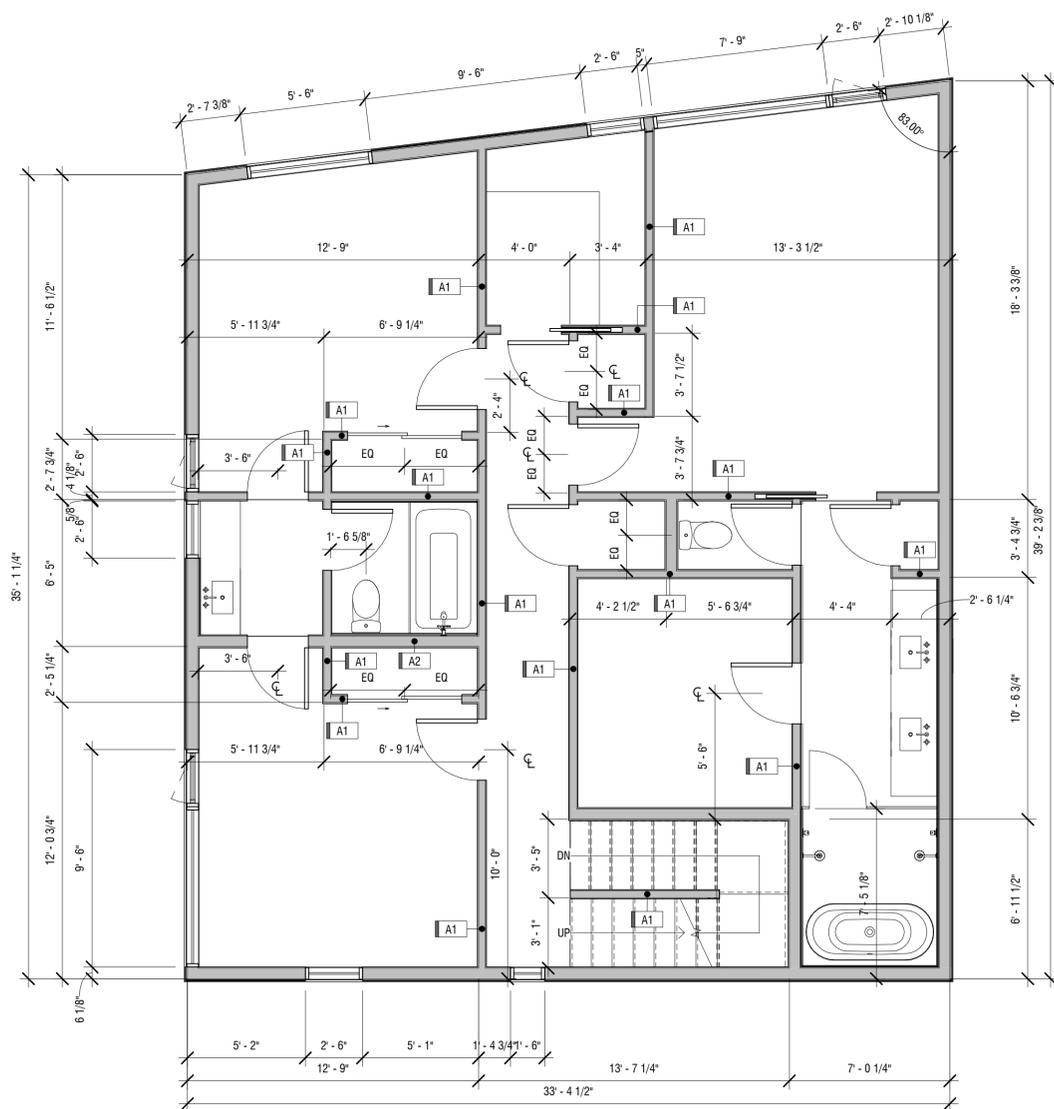
BLOCKING GENERAL NOTES

- Provide blocking for all required elements, including, but not limited to: shelving, equipment, lighting, millwork, counters, and toilet accessories.
- All blocking installed in stud cavities shall be tight to backside of sheathing.
- In Type I or II Construction, all wood blocking shall be fire-treated as required per code.

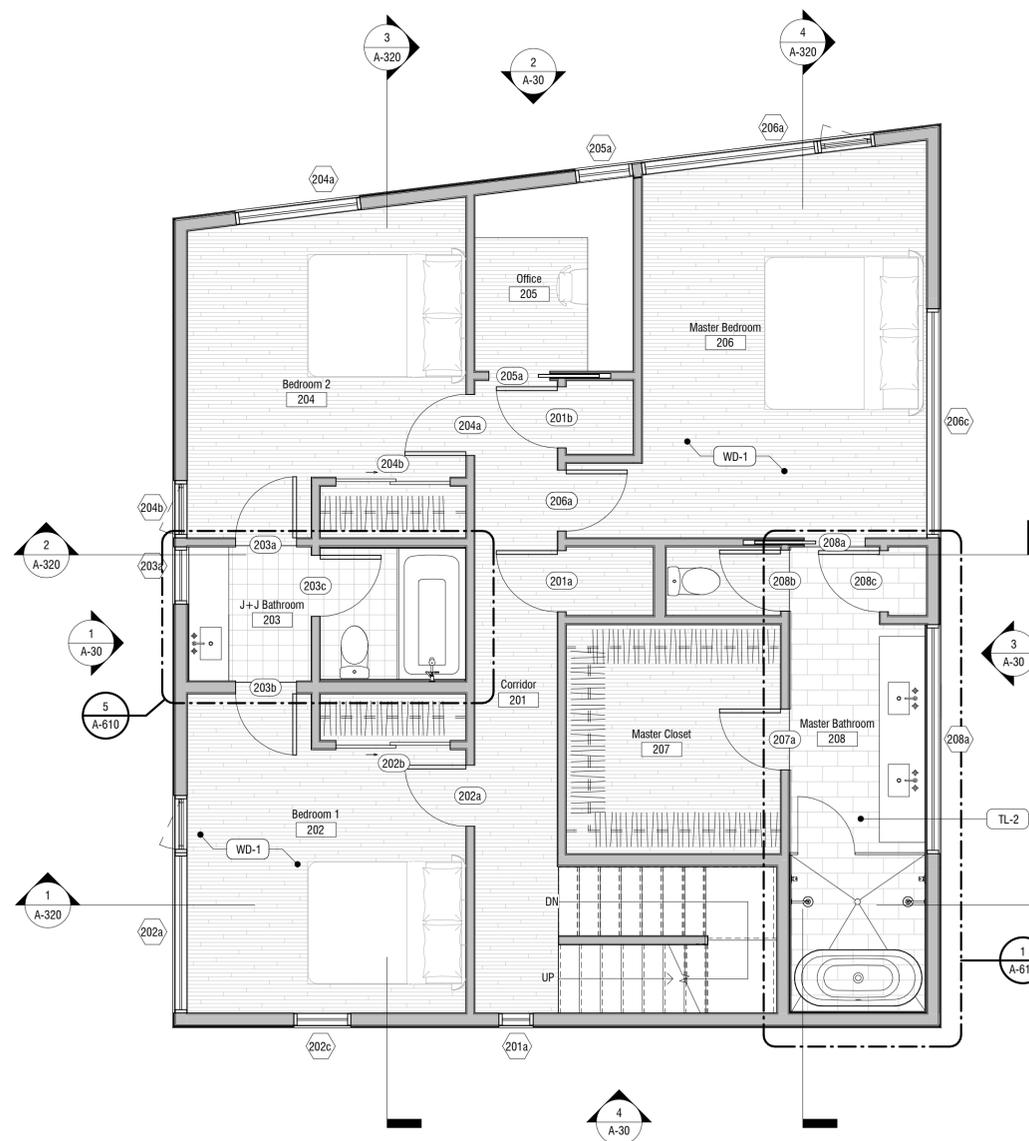
SHEATHING SCHEDULE

- + NON-WET WALL LOCATIONS**
5/8" Gypsum Board
- + TILE WALLS**
5/8" Hardi-Board or Durock behind all areas to be clad in tile
- + WET WALLS AND RESTROOM WALLS**
5/8" Hardi-Board or Durock behind all areas to be clad in tile
5/8" Moisture-resistant Gypsum Board, including ceiling
Sound batt insulation in all restroom walls
- + KITCHEN WALLS**
5/8" Hardi-Board installed up to 48" AFF
5/8" Moisture-resistant Gypsum Board above 48" AFF
5/8" Moisture-resistant Gypsum Board at ceilings
Install blocking as required for wall shelving
- + PDR WALLS**
5/8" Gypsum Board
Sound batt insulation at walls adjacent to kitchen and prep areas
- + PLASTER FINISHED WALLS**
5/8" DensGlass Gold under plaster skim coat as scheduled
- + WOOD FINISHED WALLS**
1/2" minimum Plywood Sheathing - fire-treated as required
- + WALL PAPER FINISHED WALLS**
5/8" Gypsum Board with smooth finish suitable for wall paper application

A Partition Series A
1/2" = 1'-0"



1 Second Floor Dimension Plan
1/4" = 1'-0"



2 Second Floor Plan
1/4" = 1'-0"

Consultant

Architect

RAVEL
ARCHITECTURE

2012 E Cesar Chavez Street
Austin, TX 78702

Seal and Signature



10/07/2021

Construction Set

Date
October 21st, 2021

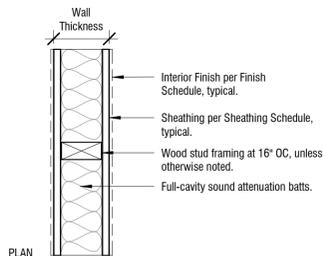
Project
1309 Clifford Ave.
Parkside Homes
1309 Clifford Ave.
Austin, TX 78702

Title
Second Floor
Plans

Sheet

A-120

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify Ravel immediately.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Do not scale the drawings. If a specific dimension is not given, contact Ravel for clarification.
- GC is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.



PLAN

TYPE	STUD DEPTH	WALL THCK	FIRE RATING	STC RATING
A1	3-1/2"	4-3/4"	N/A	N/A
A2	5-1/2"	6-3/4"	N/A	N/A
A3	7-1/2"	8-3/4"	N/A	N/A

Stud Walls are Type A-2 Unless Noted Otherwise on Dimension Plans

PARTITION TYPE GENERAL NOTES

- All gypsum board walls and ceilings shall be finished to LEVEL 4 finish per ASTM C840 unless otherwise noted.
- Provide continuous bead of sealant at all wall-to-floor, wall-to-ceiling, and wall-to-wall conditions.
- Stagger all sheathing joints per manufacturer's recommendations.

A Partition Series A
1 1/2" = 1'-0"

BLOCKING GENERAL NOTES

- Provide blocking for all required elements, including, but not limited to: shelving, equipment, lighting, millwork, counters, and toilet accessories.
- All blocking installed in stud cavities shall be tight to backside of sheathing.
- In Type I or II Construction, all wood blocking shall be fire-treated as required per code.

SHEATHING SCHEDULE

+ NON-WET WALL LOCATIONS
5/8" Gypsum Board

+ TILE WALLS
5/8" Hardi-Board or Durock behind all areas to be clad in tile

+ WET WALLS AND RESTROOM WALLS
5/8" Hardi-Board or Durock behind all areas to be clad in tile
5/8" Moisture-resistant Gypsum Board, including ceiling
Sound batt insulation in all restroom walls

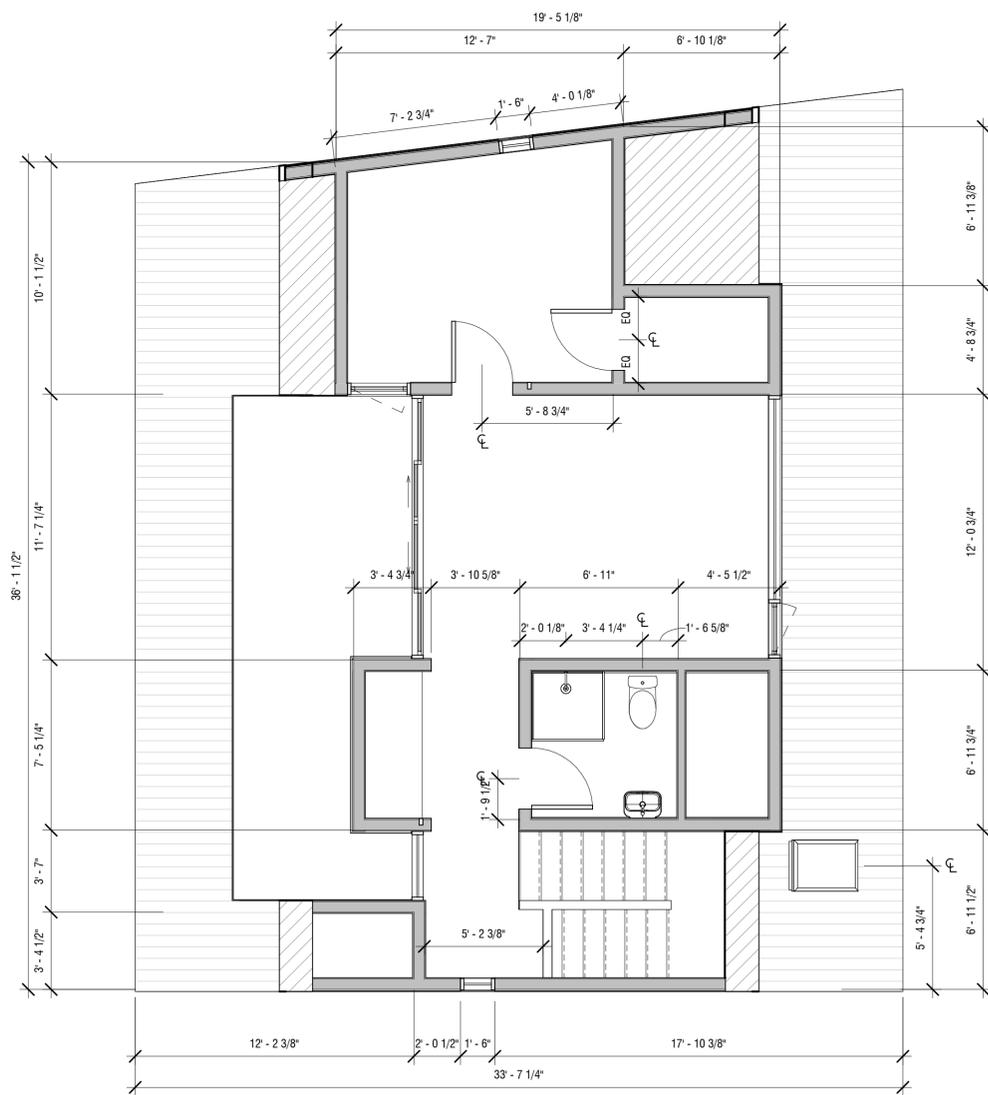
+ KITCHEN WALLS
5/8" Hardi-Board installed up to 48" AFF
5/8" Moisture-resistant Gypsum Board above 48" AFF
5/8" Moisture-resistant Gypsum Board at ceilings
Install blocking as required for wall shelving

+ PDR WALLS
5/8" Gypsum Board
Sound batt insulation at walls adjacent to kitchen and prep areas

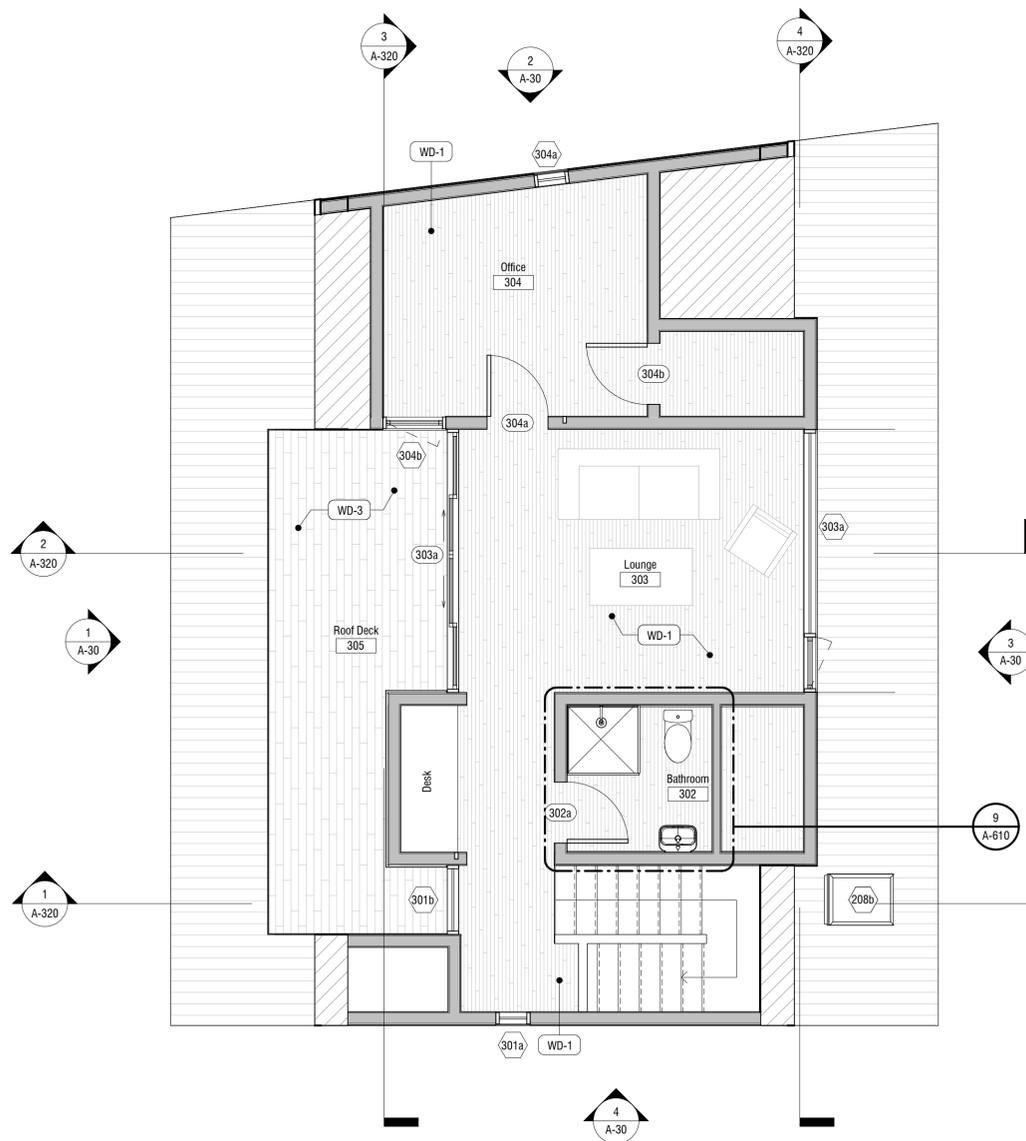
+ PLASTER FINISHED WALLS
5/8" DensGlass Gold under plaster skim coat as scheduled

+ WOOD FINISHED WALLS
1/2" minimum Plywood Sheathing - fire-treated as required

+ WALL PAPER FINISHED WALLS
5/8" Gypsum Board with smooth finish suitable for wall paper application



1 Third Floor Plan - Dimension
1/4" = 1'-0"



2 Third Floor Plan
1/4" = 1'-0"

Consultant

Architect

RAVEL
ARCHITECTURE

2012 E Cesar Chavez Street
Austin, TX 78702

Seal and Signature



10/07/2021

Construction Set

Date: **October 21st, 2021**

Project:
1309 Clifford Ave.
Parkside Homes
1309 Clifford Ave.
Austin, TX 78702

Title:
Third Floor Plans

Sheet